

Clarence Road Wimbledon, SW19 8QE

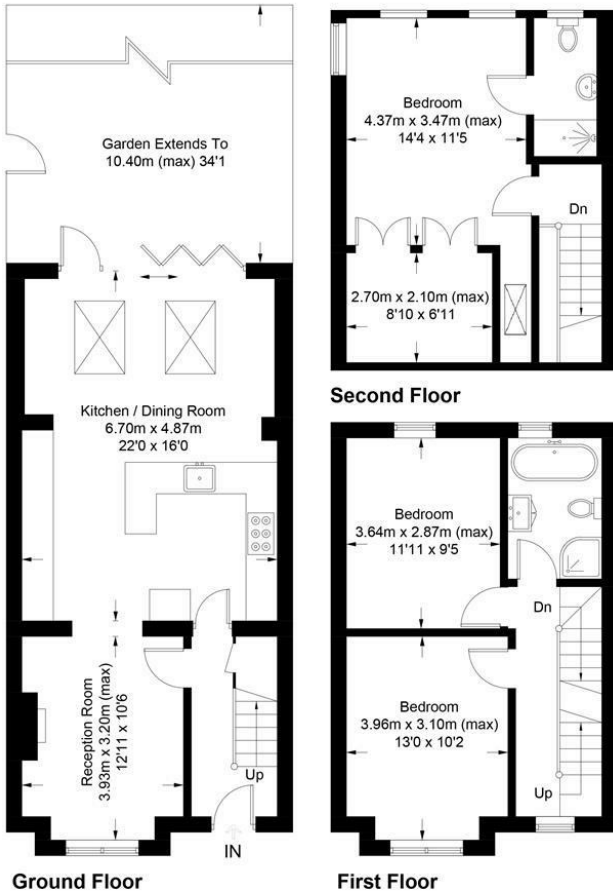
£1,000,000 Freehold



A beautiful, Victorian, three bedroom, two bathroom, end-terraced family home with a South-facing garden, well positioned on this sought after road in South Park Gardens close to Holy Trinity School. This wider than average property has been extended on the ground floor by the current owners to create a bright open plan kitchen/living area with bi-fold doors that open onto the garden offering side access. There is also a front reception which opens into the kitchen. On the first floor are two good double bedrooms and a lovely family bathroom with a roll top bath whilst the large master bedroom with built-in wardrobes and an en-suite is in the converted loft.

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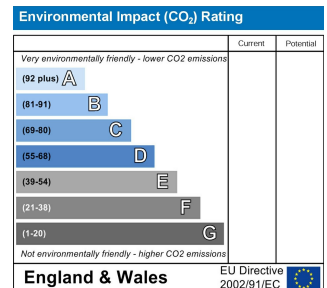
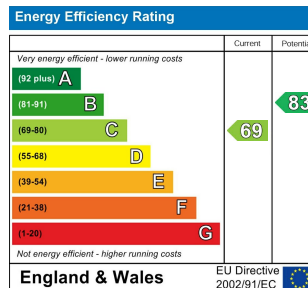
Approximate Gross Internal Area = 120.5 sq m / 1297 sq ft



This floor plan is for representation purposes only and is not drawn to scale.
 The Gross Internal Area includes outbuildings shown on the plan.
 Whilst every attempt has been made to ensure the accuracy of the plan measurements of doors, windows and rooms are approximate only and should be checked before making any decisions reliant upon them.
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- Victorian End-Terraced Home
- Wider than Average
- Three Bedrooms
- South-Facing Garden
- Stunning Open Plan Kitchen Area
- Side Access
- Close to Holy Trinity School
- Close to Wimbledon Town Centre
- EPC Rating C



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